

PROPOSED NEW RESIDENTIAL DEVELOPMENT

LOT 24, DP 271494
SUTTON, NSW
76 Woodbury Drive



GENERAL NOTES

- CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE SUPERINTENDENT AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO -
- A) STATE GOVERNMENT, LOCAL COUNCIL AND THEIR AGENCIES
- B) ELECTRICITY, STORMWATER, WATER, SEWER AND GAS SERVICE PROVIDERS / AGENCIES
- C) BUILDING CODE OF AUSTRALIA AND THE RELEVANT APPENDIX
- D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPECIFIED
- ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
- USE FIGURED DIMENSIONS ONLY. DO NOT SCALE OFF THE DRAWING.
- SURVEYOR TO CONFIRM SITING OF BUILDINGS/STRUCTURES AND EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS.

SUPPLEMENTARY NOTES

- ALL LEVELS, SITE CUTS, GROUND LEVELS, FFLs TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS (INCLUDING DRIVEWAY LEVELS).
- ANY DISCREPANCIES TO BE DIRECTED TO BUILDER IMMEDIATELY.
- CLOTHES DRYING AREA TO BE SCREENED FROM PUBLIC VIEW AND CONFIRMED BY CLIENT.
- STORMWATER DETAILS TO BE CONFIRMED WHEN THE INFORMATION IS AVAILABLE.
- INCLUSION LIST TO TAKE PRECEDENCE OVER DRAWINGS.

FINISHED FLOOR LEVEL

FINISHED FLOOR LEVEL WILL BE MINIMUM 300MM ABOVE ADJACENT FINISHED GROUND LEVEL OF THE LAND.

EROSION & SEDIMENT CONTROL

EROSION AND SEDIMENT CONTROL MEASURES TO BE UNDERTAKEN IN COMPLIANCE WITH THE COUNCIL'S REQUIREMENTS.

BUILDING MATERIALS

ALL EXTERNAL BUILDING MATERIALS, FINISHES AND COLOURS ARE TO BE IN ACCORDANCE WITH THE MATERIALS AND FINISHES SCHEDULE PREPARED FOR THE DEVELOPMENT.

BASIX

BASIX COMMITMENTS FORM PART OF THIS PLAN WHICH MUST BE COMPLIED WITH. REFER TO THE SCHEDULE OF BASIX COMMITMENTS AND ENERGY EFFICIENCY REPORT PREPARED FOR THE PROJECT.

TERMITE PROTECTION

TERM GUARD PERIMETER AND ARMoured SHIELD SYSTEM OR EQUIVALENT NON-CHEMICAL BARRIER TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS.

BUSHFIRE PROTECTION MEASURES

A BUSHFIRE ASSESSMENT REPORT PREPARED BY EMBER BUSHFIRE CONSULTING HAS IDENTIFIED THE BUSHFIRE ATTACK LEVEL (BAL) FOR THE SITE AS 'LOW'. THE REPORT DOES HOWEVER RECOMMENDS A BAL OF 12.5 FOR ANY DEVELOPMENT PROPOSED ON THAT SITE. ALL CONSTRUCTION SHOULD THEREFORE BE IN ACCORDANCE WITH AS3959-2009 AND THE CORRESPONDING BAL 12.5 CONSTRUCTION STANDARDS.

PROJECT PROPOSED NEW RESIDENTIAL DEVELOPMENT		TITLE COVER SHEET		DATE 25/02/2025		SCALE 1 : 100 @A1		JOB NO.		DRAWN		DWG NO. 00.0		VERSION D		VER. DATE DESCRIPTION		VER. DATE DESCRIPTION		VER. DATE DESCRIPTION		4THD PLANNING & DESIGN		4THD PLANNING & DESIGN PTY LTD - COPYRIGHT ©	
LOT 24 DP 271494 SUTTON, NSW 76 WOODBURY DRIVE		CLIENTS ALI TAJPOUR ROSE TAJPOUR																				THIS ARCHITECTURAL DESIGN AND DRAWING REMAINS THE PROPERTY OF 4THD PLANNING & DESIGN PTY LTD AND MUST NOT BE ALTERED OR COPIED IN WHOLE OR IN PART WITHOUT ITS WRITTEN PERMISSION. FAILURE TO DO SO MAY RESULT IN LEGAL ACTION.			

SITE AREA = 17,471 sq.m.

TOTAL GROSS FLOOR AREA = 933.733 sq.m.

FLOOR SPACE RATIO = 0.053

TOTAL BUILDING AREA = 933.733 sq.m.

MAIN HOUSE = 437.035 sq.m. (GFA)
GUEST HOUSE = 138.280 sq.m. (GFA)
SHED = 282.827 sq.m. (GFA)
PLANT ROOM = 18.900 sq.m. (GFA)
DOUBLE GARAGE = 56.691 sq.m. (GFA)

Entry Porch = 8.766 sq.m.
Terraces = 13.976 sq.m.
Timber Deck = 93.760 sq.m.
Roofed Pergola = 72.019 sq.m.
Unroofed Pergola = 25.408 sq.m.

PROPOSED NEW SINGLE
STOREY BUILDING

EXISTING TREES TO BE
RETAINED AND PROTECTED
DURING CONSTRUCTION

EXISTING TREES TO BE
REMOVED

GLAZED WINDOWS AND DOORS SCHEDULE

MAIN HOUSE

Label	Location	Type	Level	Height	Width	Glazing	Orientation
01	Bed 3	Al. awning window	Grd	1800	1200	Double	N
02	Bed 3	Al. awning window	Grd	1800	1200	Double	N
03	Corridor	Al. awning window	Grd	1200	1200	Double	N
04	Rumpus	Al. sliding door	Grd	2400	3800	Double	N
05	Corridor	Al. awning window	Grd	1200	1200	Double	N
06	Kitchen	Al. fixed window	Grd	2400	1800	Double	N
07	Family Liv	Al. sliding door	Grd	2400	4800	Double	N
08	Family Liv	Al. fixed window	Grd-High	900	4800	Double	N
09	Formal Liv	Al. sliding door	Grd	2400	4800	Double	W
10	Family Liv	Al. fixed window	Grd-High	900	4800	Double	W
11	G.Bed 4	Al. sliding door	Grd	2400	2400	Double	W
12	Bath 1	Al. awning window	Grd	600	1500	Double	W
13	Gym	Al. fixed window	Grd	1400	1400	Double	S
14	Gym	Al. glazed door	Grd	2400	950	Double	W
15	Bath 2	Al. awning window	Grd	600	2000	Double	N
16	Gym	Al. awning window	Grd	2400	1200	Double	N
17	Gym	Al. awning window	Grd	2400	1200	Double	N
18	Gym	Al. awning window	Grd	2400	1200	Double	N
19	Study	Al. awning window	Grd	2400	1200	Double	E
20	Study	Al. awning window	Grd	2400	1200	Double	E
21	Lobby	Al. awning window	Grd	2400	600	Double	N
22	Formal Liv	Al. awning window	Grd	2400	1200	Double	E
23	Garage	Al. awning window	Grd	1500	700	Double	E
24	Garage	Al. awning window	Grd	1500	700	Double	E
25	Dining	Al. sliding door	Grd	2400	3800	Double	S
26	Pantry	Al. awning window	Grd	600	3800	Double	S
27	Laundry	Al. awning window	Grd	1800	1000	Double	S
28	Ens 1	Al. awning window	Grd	1800	1200	Double	S
29	M.Bed 1	Al. awning window	Grd	1800	3000	Double	S
30	Rumpus	Al. awning window	Grd	1800	800	Double	S
31	Rumpus	Al. awning window	Grd	1800	800	Double	S
32	Bed 2	Al. awning window	Grd	1800	1200	Double	S
33	Bed 2	Al. awning window	Grd	1800	1200	Double	S
34	Ens 2	Al. awning window	Grd	1400	700	Double	S
35	Ens 3	Al. awning window	Grd	1400	700	Double	S
69	Study	Al. glazed door	Grd	2400	1100	Double	N

GUEST HOUSE

Label	Location	Type	Level	Height	Width	Glazing	Orientation
36	Formal Liv	Al. awning window	Grd	2400	1200	Double	N
37	Formal Liv	Al. awning window	Grd	2400	1200	Double	N
38	M.Bed 1	Al. awning window	Grd	1800	1200	Double	N
39	M.Bed 1	Al. awning window	Grd	1800	1200	Double	N
40	Ens	Al. awning window	Grd	1400	700	Double	E
41	Family Liv	Al. awning window	Grd	1800	1200	Double	W
42	Family Liv	Al. awning window	Grd	1800	1200	Double	W
43	Family Liv	Al. awning window	Grd	1800	1200	Double	W
44	Bed 2	Al. awning window	Grd	1800	1200	Double	W
45	Bed 2	Al. awning window	Grd	1800	1200	Double	W
46	Bed 3	Al. awning window	Grd	1800	1200	Double	W
47	Bed 3	Al. awning window	Grd	1800	1200	Double	W
48	Bath	Al. awning window	Grd	1400	700	Double	N

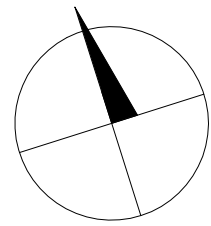
SHED

Label	Location	Type	Level	Height	Width	Glazing	Orientation
49	Shed	Al. fixed window	Grd	900	900	Double	N
50	Shed	Al. fixed window	Grd	900	900	Double	N
51	Shed	Al. fixed window	Grd	900	900	Double	N
52	Shed	Al. fixed window	Grd	900	900	Double	N
53	Shed	Al. fixed window	Grd	900	900	Double	N
54	Shed	Al. fixed window	Grd	900	900	Double	N
55	Shed	Al. fixed window	Grd	900	900	Double	E
56	Shed	Al. fixed window	Grd	900	900	Double	E
57	Shed	Al. fixed window	Grd	900	900	Double	E
58	Shed	Al. fixed window	Grd	900	900	Double	E
59	Shed	Al. fixed window	Grd	900	900	Double	E
60	Shed	Al. fixed window	Grd	900	900	Double	E
61	Plant Rm	Al. fixed window	Grd	900	900	Double	W
62	Plant Rm	Al. fixed window	Grd	900	900	Double	W
63	Shed	Al. fixed window	Grd	900	900	Double	W
64	Shed	Al. fixed window	Grd	900	900	Double	W
65	Shed	Al. fixed window	Grd	900	900	Double	W
66	Shed	Al. fixed window	Grd	900	900	Double	W
67	Shed	Al. fixed window	Grd	900	900	Double	W
68	Shed	Al. fixed window	Grd	900	900	Double	W

LOT 24 DP 271494
1.747 ha

SUTTON ROAD

EXISTING FENCE ON
BOUNDARY PROVIDED
BY LAND DEVELOPER



SITE PLAN
scale - 1:500

NOTE:

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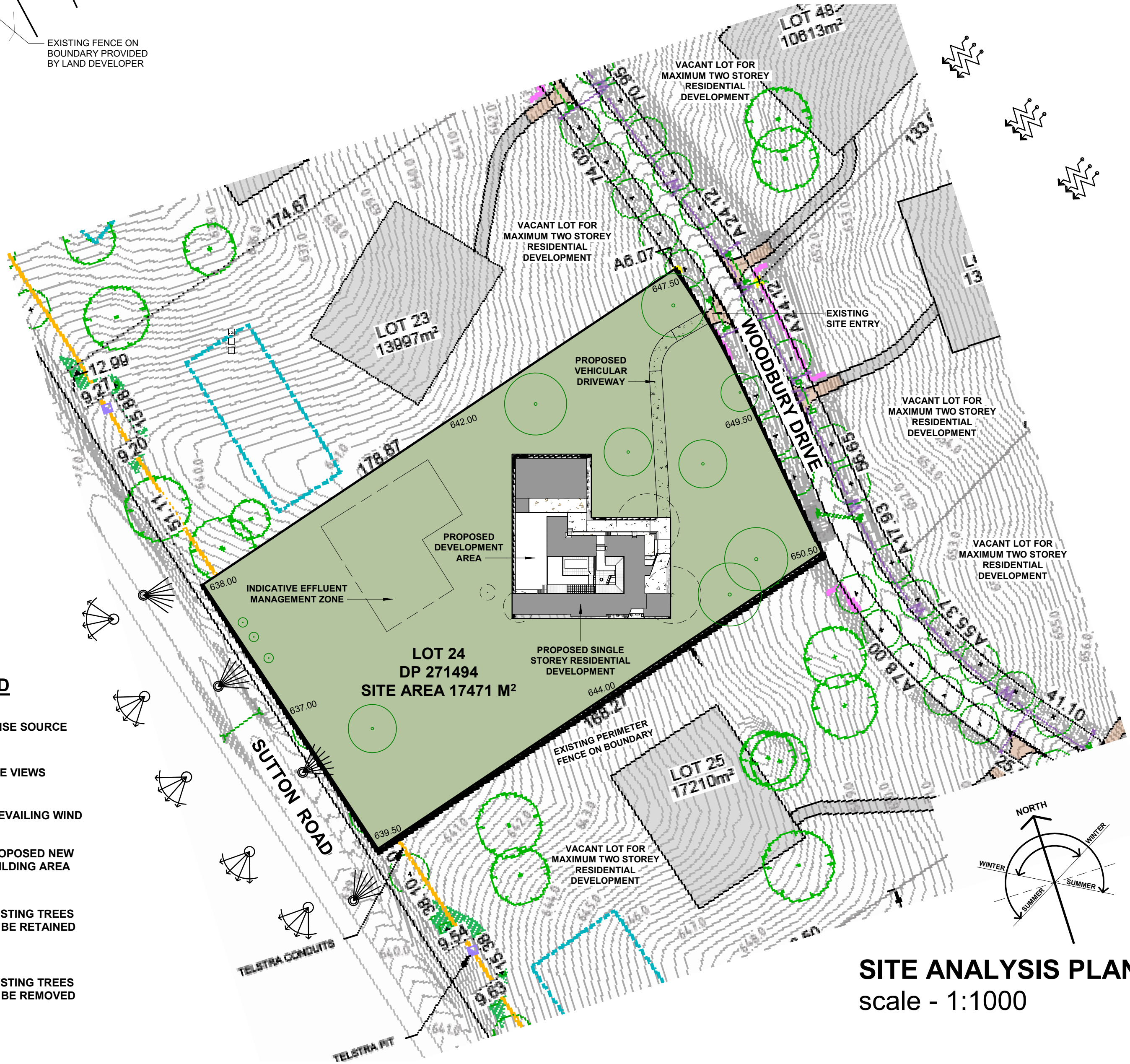
TERMITE PROTECTION

TERM GUARD PERIMETER AND ARMoured SHIELD
SYSTEM OR EQUIVALENT NON-CHEMICAL BARRIER
TO BE INSTALLED TO MANUFACTURER'S
SPECIFICATIONS.



LEGEND

- NOISE SOURCE
- SITE VIEWS
- PREVAILING WIND
- PROPOSED NEW BUILDING AREA
- EXISTING TREES TO BE RETAINED
- EXISTING TREES TO BE REMOVED



SITE ANALYSIS PLAN
scale - 1:1000

PROJECT
PROPOSED NEW RESIDENTIAL DEVELOPMENT

LOT 24 DP 271494
SUTTON, NSW
76 WOODBURY DRIVE

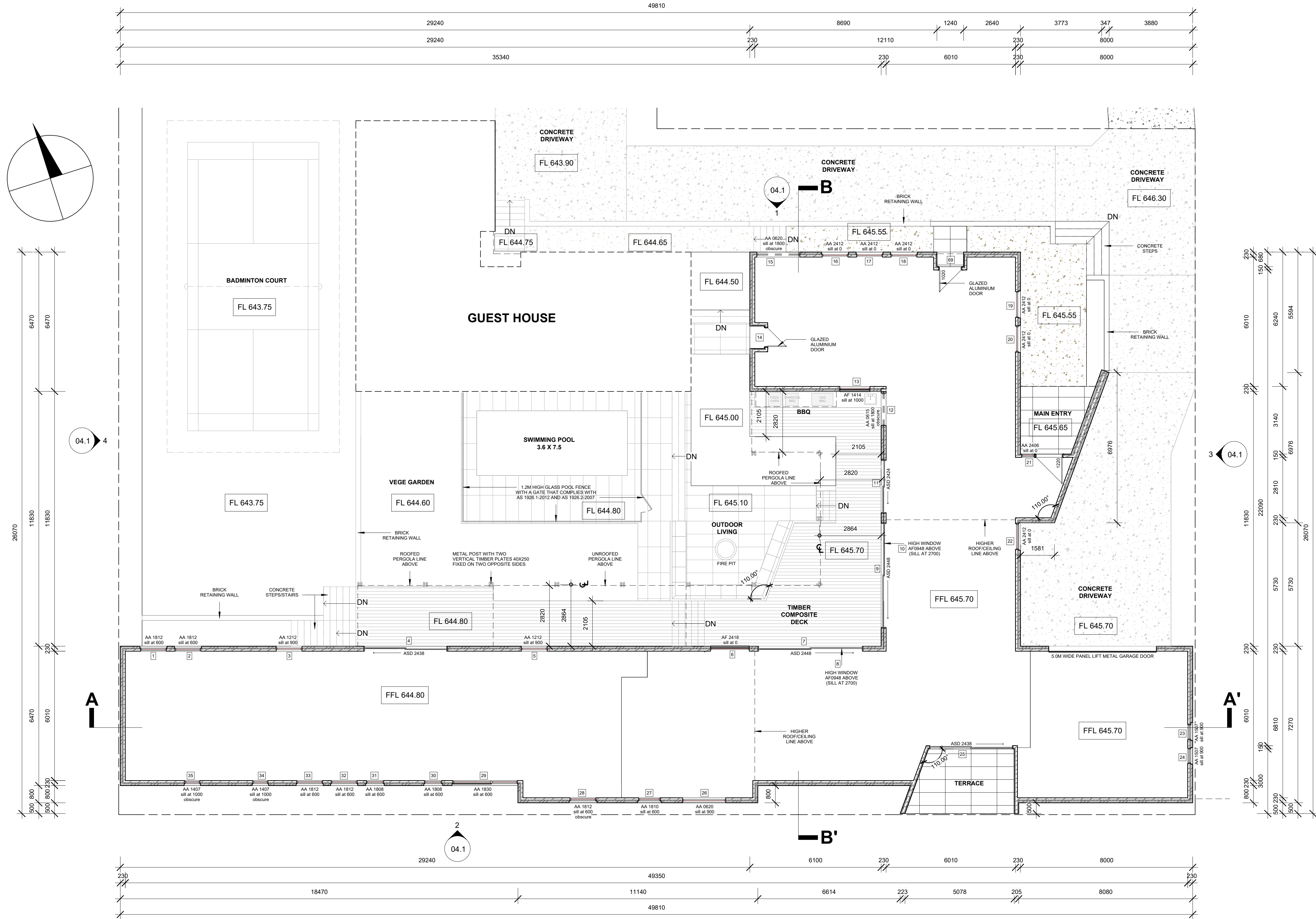
CLIENTS
ALI TAJPOUR
ROSE TAJPOUR

TITLE
SITE PLAN &
SITE ANALYSIS PLAN

DATE	SCALE	VER.	DATE	DESCRIPTION	VER.	DATE	DESCRIPTION	VER.	DATE	DESCRIPTION
25/02/2025	As @A1	A	28/12/2024	PSP - CONCEPT DESIGN (OPTION 1)						
	Indicated	B	6/01/2025	PSP - CONCEPT DESIGN (OPTION 2)						
	UNPAWN	C	17/01/2025	PSP - DESIGN DEVELOPMENT						
		D	25/02/2025	DA DOCUMENTATION						
DWG NO. 01.1	VERSION D									

4THD PLANNING & DESIGN
35 Clem Hill Street, Gordon ACT 2906
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GROUND FLOOR PLAN - Main House

PROJECT
PROPOSED NEW RESIDENTIAL DEVELOPMENT

LOT 24 DP 271494
SUTTON, NSW
76 WOODBURY DRIVE

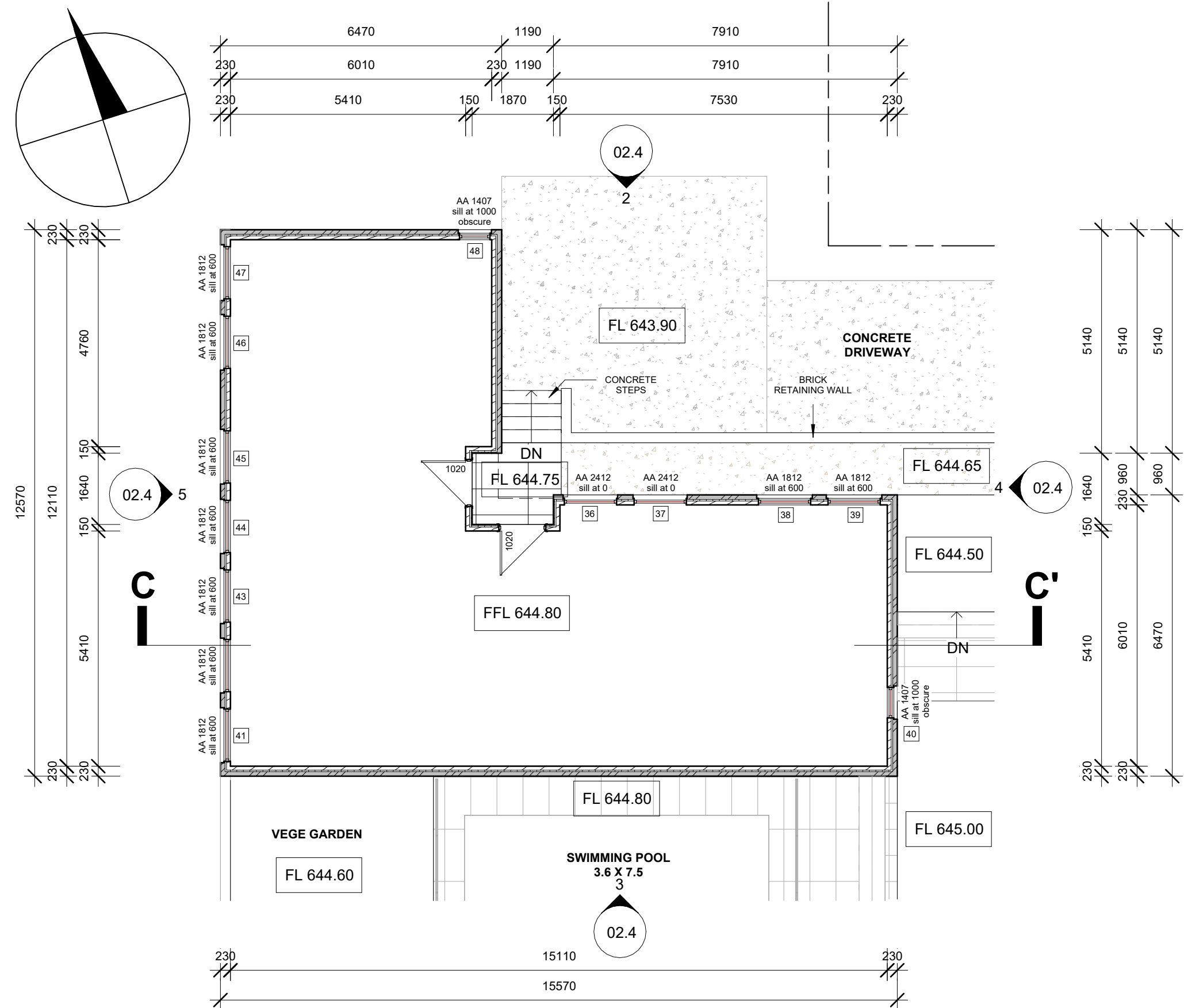
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TITLE
GROUND FLOOR PLAN - Main House
(Public Notification)

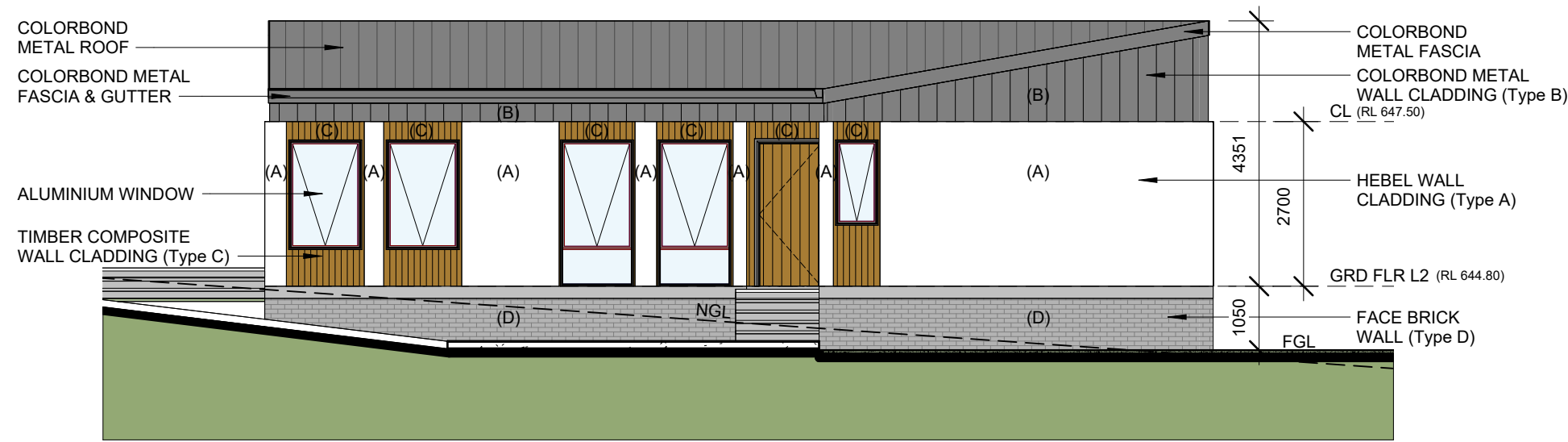
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25/02/2025	1:100 @A1	A	28/12/2024	PSP - CONCEPT DESIGN (OPTION 1)						
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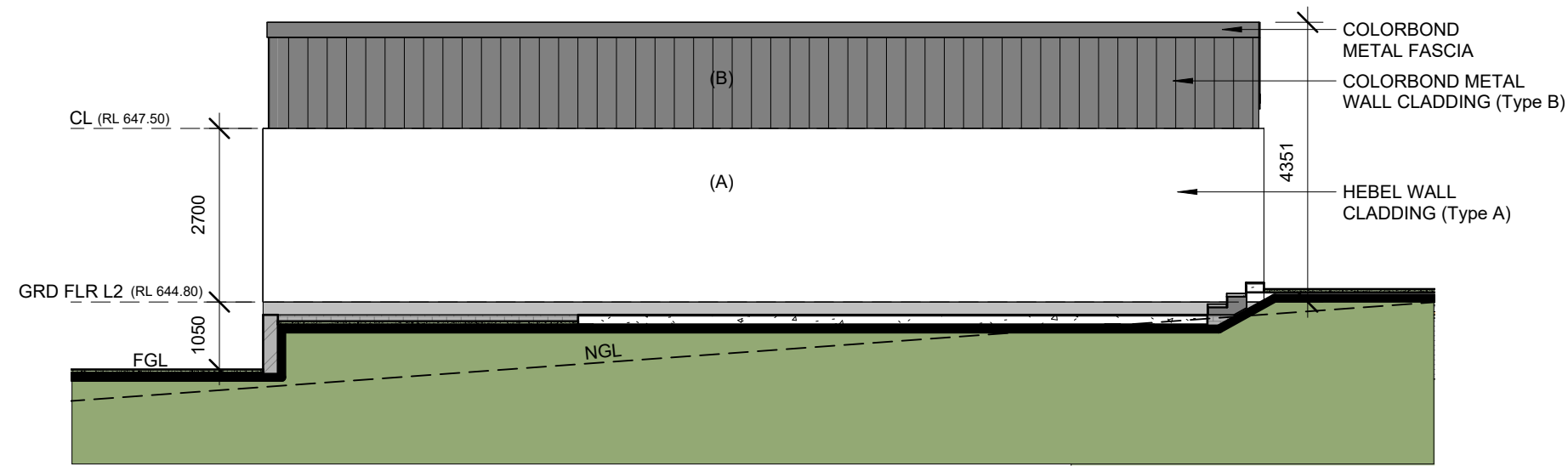
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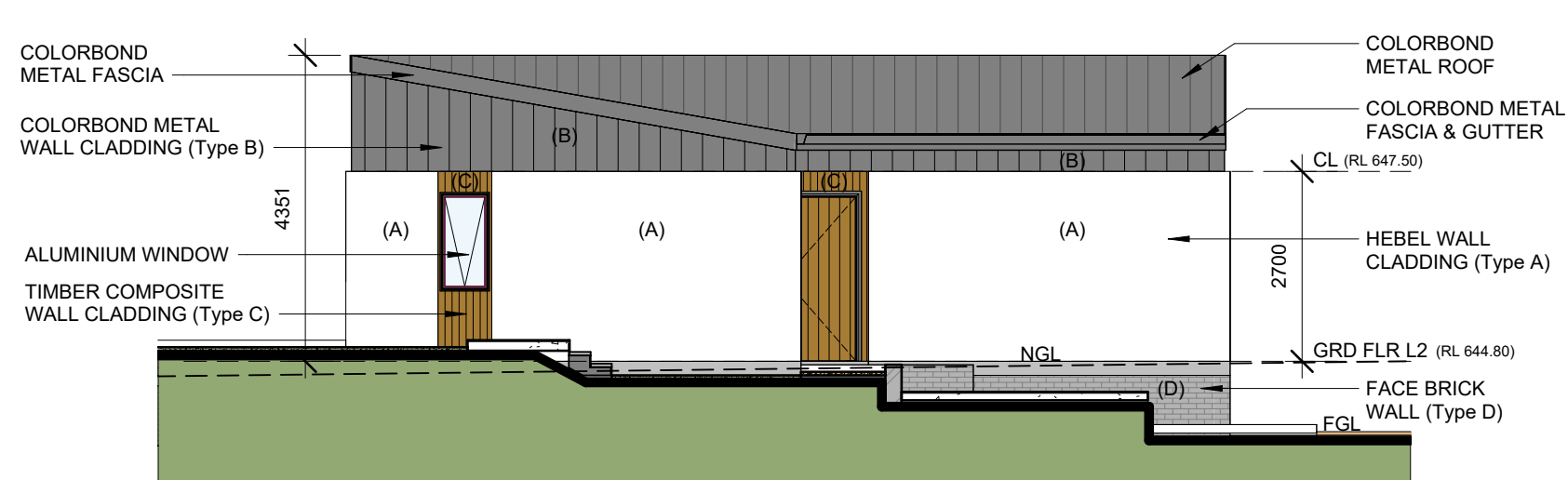
GROUND FLOOR PLAN - Guest House



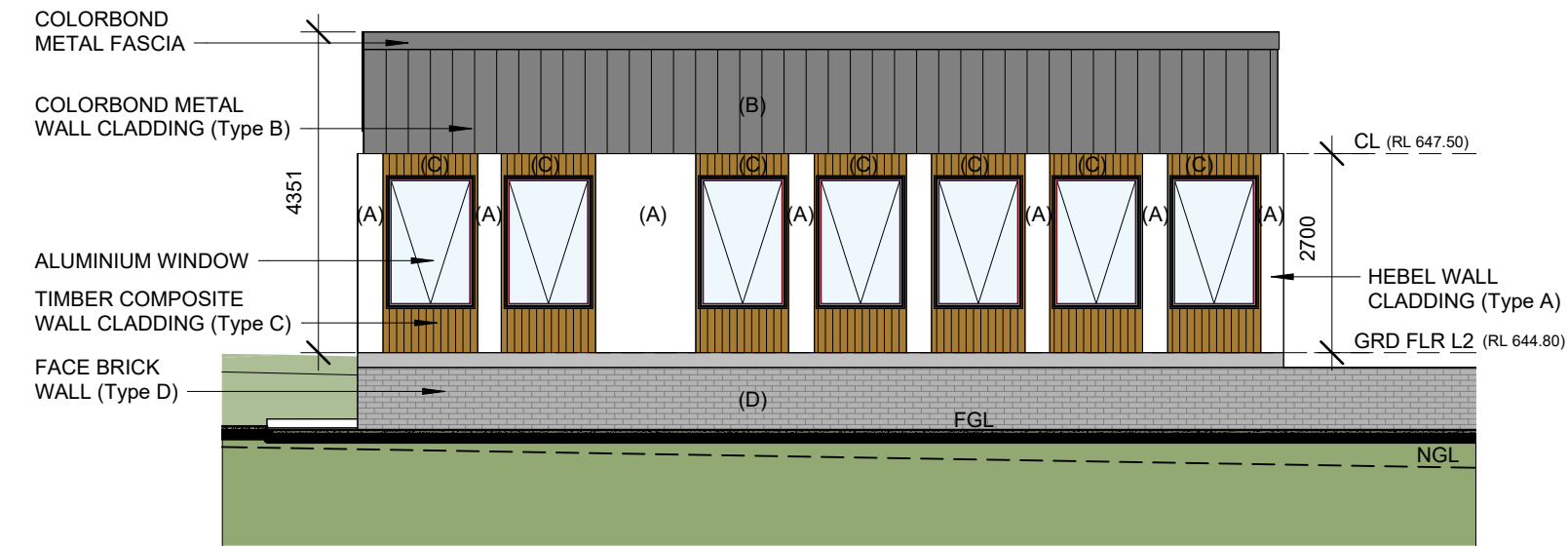
NORTH ELEVATION




SOUTH ELEVATION

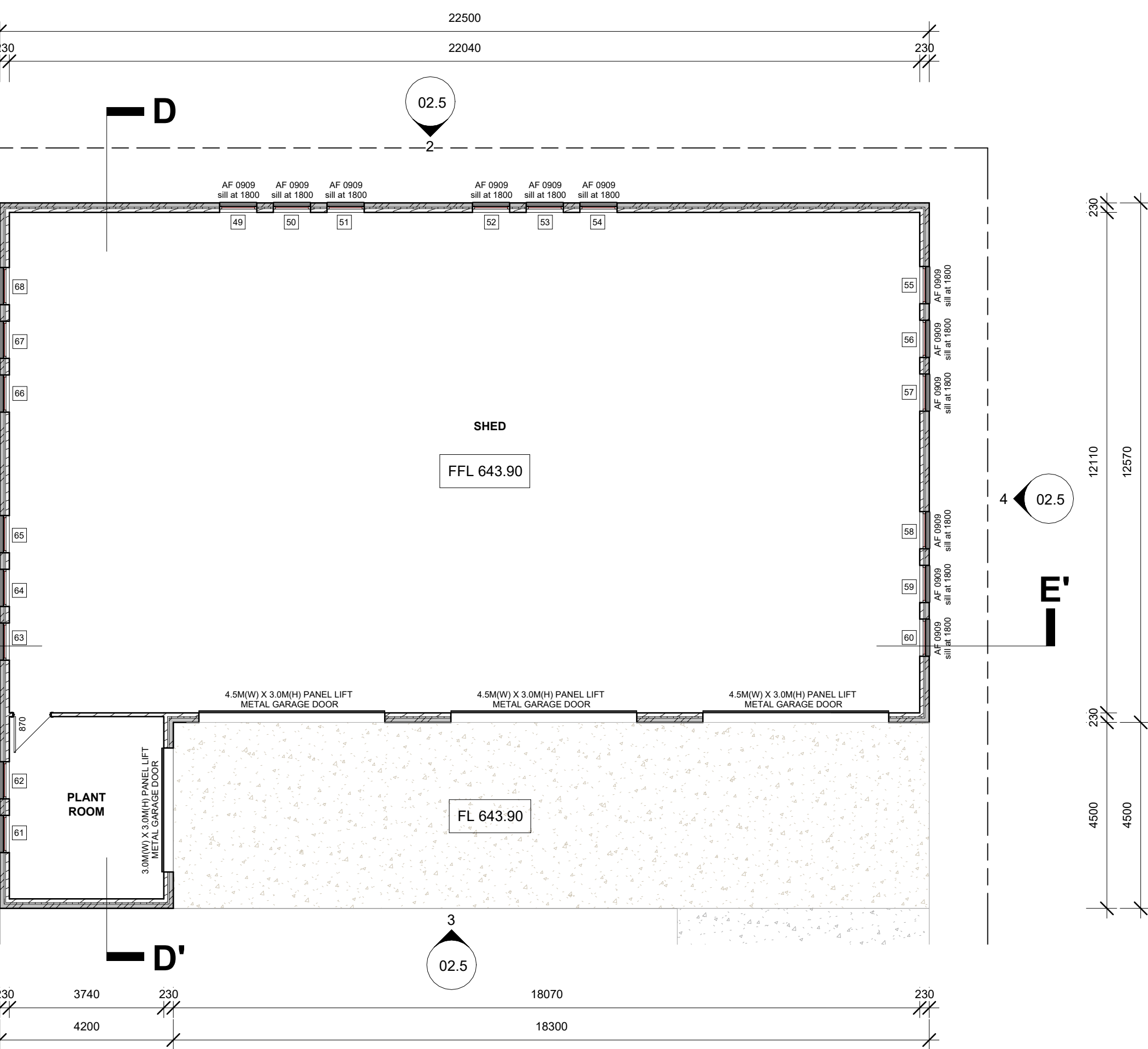


EAST ELEVATION



WEST ELEVATION

PROJECT PROPOSED NEW RESIDENTIAL DEVELOPMENT		TITLE GROUND FLOOR PLAN & ELEVATIONS - Guest House (Public Notification)	DATE 25/02/2025	SCALE 1 : 100 @A1	<table><tr><th>VER.</th><th>DATE</th><th>DESCRIPTION</th><th>VER.</th><th>DATE</th><th>DESCRIPTION</th><th>VER.</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>A</td><td>28/12/2024</td><td>PSP - CONCEPT DESIGN (OPTION 1)</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>B</td><td>05/01/2025</td><td>PSP - CONCEPT DESIGN (OPTION 2)</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>C</td><td>17/01/2025</td><td>PSP - DESIGN DEVELOPMENT</td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>D</td><td>25/02/2025</td><td>DA DOCUMENTATION</td><td></td><td></td><td></td><td></td><td></td><td></td></tr></table>	VER.	DATE	DESCRIPTION	VER.	DATE	DESCRIPTION	VER.	DATE	DESCRIPTION	A	28/12/2024	PSP - CONCEPT DESIGN (OPTION 1)							B	05/01/2025	PSP - CONCEPT DESIGN (OPTION 2)							C	17/01/2025	PSP - DESIGN DEVELOPMENT							D	25/02/2025	DA DOCUMENTATION									<div>4THD PLANNING & DESIGN 35 Clem Hill Street, Gordon ACT 2906 Tel: (02) 6294 8059 Mob: 0434674176 Email: info@4thd.com.au Web: www.4thd.com.au ACN 154 870 078</div> <div>4THD PLANNING & DESIGN PTY LTD - COPYRIGHT © THIS ARCHITECTURAL DESIGN AND DRAWING REMAINS THE PROPERTY OF 4THD PLANNING & DESIGN PTY LTD AND MUST NOT BE ALTERED OR COPIED IN WHOLE OR IN PART WITHOUT ITS WRITTEN PERMISSION. FAILURE TO DO SO MAY RESULT IN LEGAL ACTION.</div>
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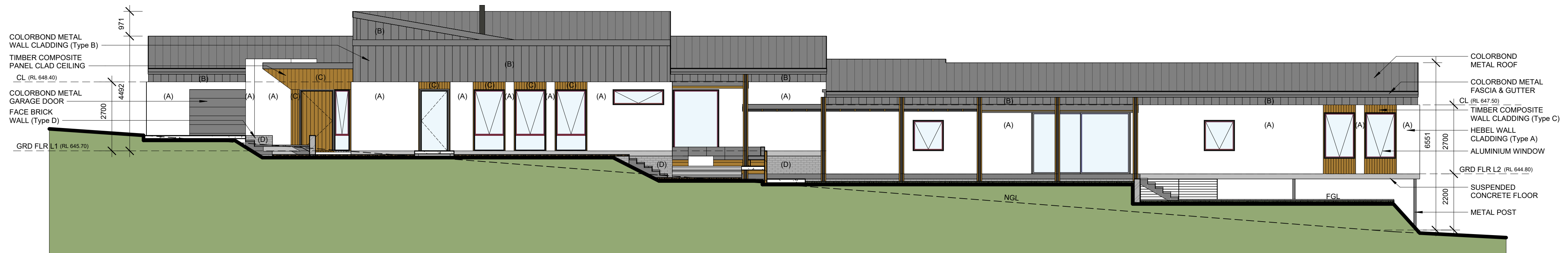
Sectional elevation drawing of a building facade. The drawing shows a cross-section of the building with various materials and components labeled. The roof is labeled 'COLORBOND METAL ROOF' with a height of 2188. Below the roof is a 'COLORBOND METAL FASCIA & GUTTER'. The main wall is labeled 'COLORBOND METAL WALL CLADDING (Type B)'. There are four 'ALUMINIUM WINDOW' units labeled '(A)'. The wall below the windows is labeled 'HEBEL WALL CLADDING (Type A)'. The ground level is labeled 'GRD FLR L3 (RL 643.90)'. The face brick wall is labeled 'FACE BRICK WALL (Type D)'. The finished ground level is labeled 'FGL'. The natural ground level is labeled 'NGL'. The drawing also shows a section of the building's foundation and a sloped ground surface on the left.

Architectural elevation drawing of the exterior wall of the Plant Room. The drawing shows a wall with a sloped roofline and a base level. The wall is divided into sections labeled (A) and (B). Section (A) is a white panel, and section (B) is a dark gray panel. The wall is labeled "COLORBOND METAL WALL CLADDING (Type B)" and "HEBEL WALL CLADDING (Type A)". The roof is labeled "COLORBOND METAL FASCIA". The base level is labeled "GRD FLR L3 (RL 643.90)". The drawing includes dimensions: 1476 for the height of the wall, 4251 for the height of the base, and 3000 for the height of the wall above the base. The drawing also shows a dashed line for the "FGL" (Finished Ground Level) and a solid line for the "NGL" (Natural Ground Level).

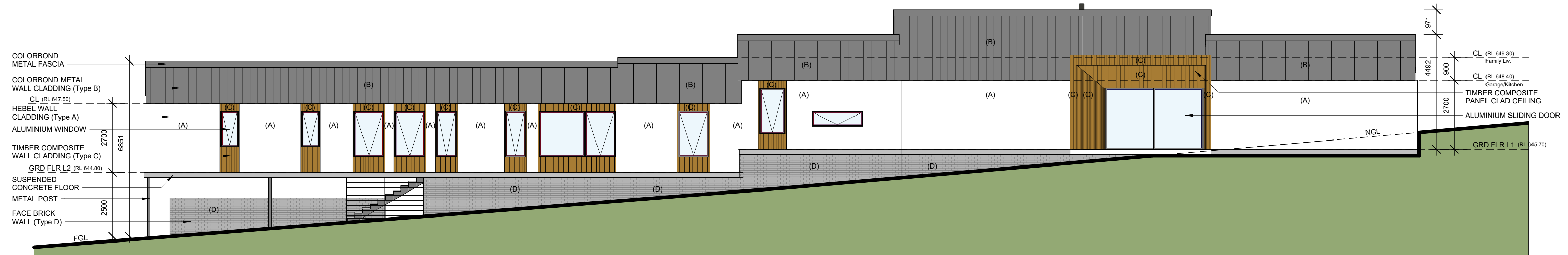
COLORBOND METAL WALL CLADDING (Type B)
 COLORBOND METAL ROOF
 COLORBOND METAL FASCIA & GUTTER
 CL (RL 646.90) Plant Room
 (B)
 ROOF TRUSS/RAKED CEILING LINE INSIDE
 COLORBOND METAL FASCIA & GUTTER
 ALUMINIUM WINDOW
 HEBEL WALL CLADDING (Type A)
 NGL
 (A)
 3539
 3539
 GRD FLR L3 (RL 643.90)
 FGL
 GRD FLR L3 (RL 643.90)

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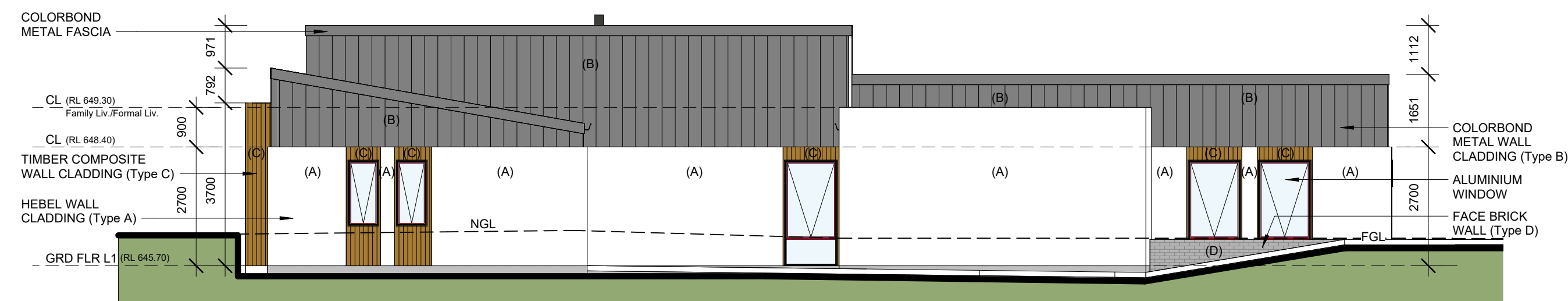
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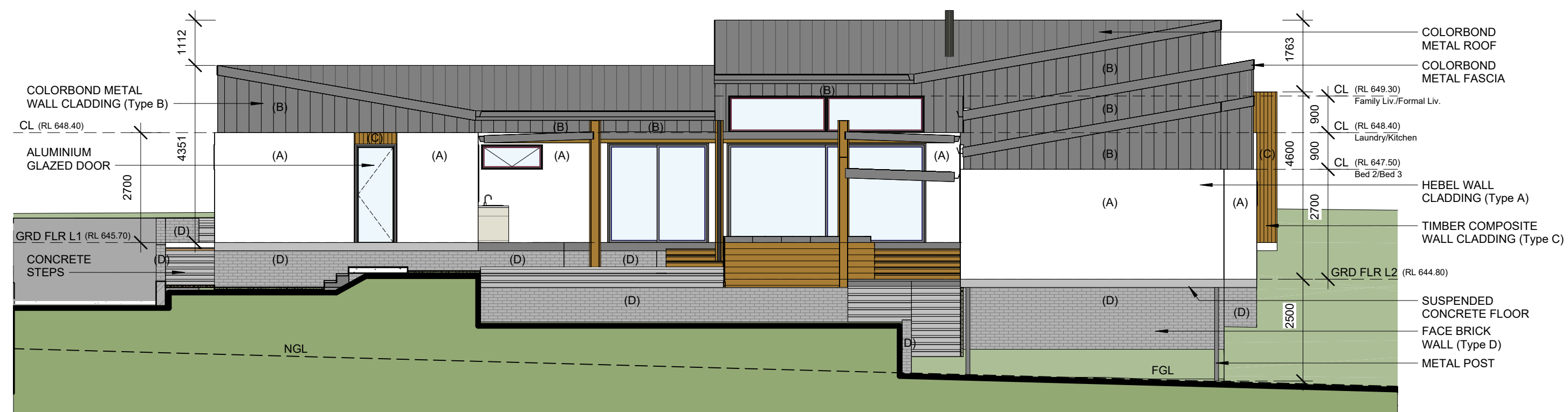
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

PROJECT
PROPOSED NEW RESIDENTIAL DEVELOPMENT

LOT 24 DP 271494
SUTTON, NSW
76 WOODBURY DRIVE

CLIENTS
ALI TAJPOUR
ROSE TAJPOUR

TITLE
ELEVATIONS - Main House

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EXTERNAL MATERIALS & COLOUR SCHEDULE

External Walls & Wall Cladding:

Type A - Hebel *PowerPanel 50mm* thick wall cladding fixed with battens over timber or metal framed wall all smooth acrylic rendered and painted - paint colour Dulux "Vivid White" or similar to owner's choice.

Type B - Stratco *"Nailstrip Hiland Tray"* or Lysaght *"Enseam"* (Rib Height – 38mm; Sheet Cover – 265mm) Colorbond metal sheet cladding fixed with battens over timber or metal framed wall with matched flashings and with ribs running vertical - colour "Basalt".

Type C - Timber composite *"Castellation"* cladding from Keksia fixed with battens to ceiling or wall frames with grooves running vertical all installed with proprietary trims and as per manufacturer's specs. - colour "Spotted Gum" or similar to owner's choice.

Type D - Face brick wall with expressed 10mm "raked" off-white colour mortar joints all neatly finished- grey colour bricks to be selected by owner.

Front Entry Ceilings, Southside Terrace Ceiling and Roofed Pergola/Colonnade Ceiling (Cladding - Type C):
Timber composite *"CX Castellated"* cladding from PermaTimber or similar fixed with battens to ceiling frames with grooves running vertical all installed with proprietary trims and as per manufacturer's specs. - colour "Spotted Gum" or similar to owner's choice.

Windows & Sliding Doors:

Powder coated aluminium windows and doors- frame colour "Basalt".

Garage Door:

Colorbond metal panel lift door- colour "Basalt".

Roof:

"Trimdek" or similar Colorbond metal roof sheeting- colour "Basalt".

Gutters & Flashings:

Colorbond half round metal gutters and flashings- colour "Basalt".

Rainheads & Downpipes:

Curved "Half Cylinder" rainheads from Stratco and 100mm dia PVC down pipes - colour "Basalt" or "Vivid White" to match corresponding wall colour.

Metal Posts & Exposed Metal Structures:

All metal posts and exposed metal structures to be painted in colour "Basalt".

Swimming Pool Fence (1200 high):

1.2m high and 12mm thick laminated/toughened clear glass panels supported on stainless steel spigots and must comply with AS and NCC.

Driveway:

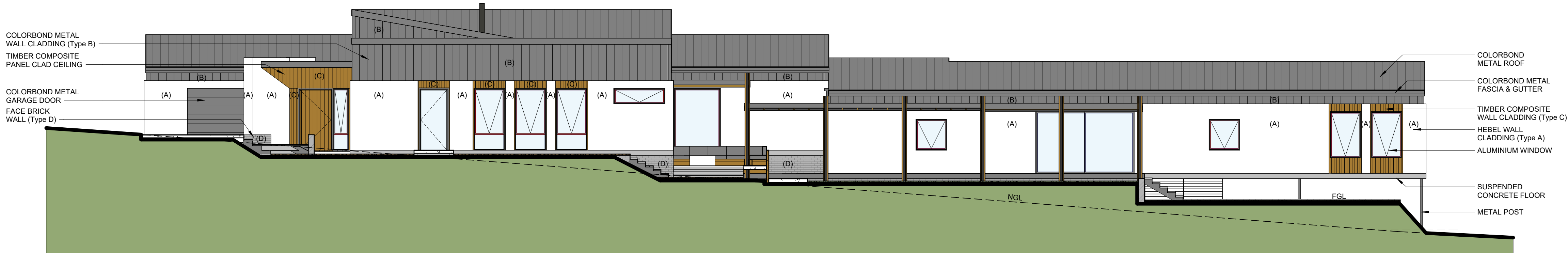
Permeable dark grey in-situ concrete with exposed aggregates or black asphalt (bitumen) driveway.

Pedestrian Paths and Apron:

Combination of standard in-situ concrete and compacted red gravel.

Retaining Wall:

Face brick wall with expressed 10mm "raked" off-white colour mortar joints all neatly finished- grey colour bricks to be selected by owner.



NORTH ELEVATION

PROJECT
PROPOSED NEW RESIDENTIAL DEVELOPMENT

LOT 24 DP 271494
SUTTON, NSW
76 WOODBURY DRIVE

CLIENTS
ALI TAJPOUR
ROSE TAJPOUR

TITLE
EXTERNAL MATERIALS & COLOUR SCHEDULE

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DWG NO.	VERSION									
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**4thD** PLANNING & DESIGN

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